



*** Residential Inspection Report ***



Client's Name

On
January 17, 2019

Inspection Address

Hurricane, Utah, 84737

Inspected By

1-702-279-5822
1812 W. Sunset Blvd #147
contactus@tiffindale.com
<https://www.tiffindale.com>



Tiffindale Real Estate Inspections

Date Of Inspection: January 17, 2019
Inspection Address: S. W., Hurricane, Utah, 84737

General Information

Client Information

Name: B at
Street Address: S.W.
City, State, Zip: Hurricane, Utah, 84737
Phone #:
Email Address: od67 comcast.net

Inspection Address

Street Address: S.W.
City, State, Zip: Hurricane, Utah, 84737

Weather Conditions

Weather Type: Light Rain
Temperature: 55 Degrees

Structure Type

Single Family /Single Story

Construction Type

Stucco with wood frame construction

Number of Bedroom/Bath

3 Bedroom / 2 Bath / 2 Car Garage

Estimated Year Built

2004

Estimated sq. ft.

1,113

Time of Inspection

2:00 PM

Inspected by

Buyer Agent

Name: Summit Sotheby's riall
Phone #: --
Email Address: ri.callthebyrealty.com

Listing Agent

Name:
Phone #:
Email Address:

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Inspection / Report limitations

This report is the exclusive property of inspection company and the client whose name appears herewith, and its use by any unauthorized persons is strictly prohibited. The observations and opinions expressed within this report are those of inspection company and supersede any alleged verbal comments. We inspect all of the systems, components, and conditions described in accordance with home inspector's standards of practice. The report is not intended for third party dissemination. This report shall not be forwarded to any other person, company, or legal entity without inspection company express written approval. Inspection company copyrights this report, which is protected by copyright law.

This inspection report is to inform you of current condition as observed at time of inspection. As a general rule cosmetic deficiencies are considered normal wear and tear and are not within the scope of this inspection unless they constitute major and visually observable defects as defined in the Inspection Agreement. However some items, which may be considered cosmetic in nature, may have been noted to assist you in evaluating other issues covered in the Inspection Agreement.

It is ultimately your decision on what concerns you would like corrected. Keep in mind that if you do not get them corrected now the defects will have to be corrected in the future at your expense. It is not possible to detect every concern during a general visual inspection. Things are going to happen and this inspection in no way is a warranty or guarantee as to the condition of the property. Make sure to complete a final walk through of the property before the close of escrow.

This inspection does not include testing for radon, mold, termites and other wood destroying organisms, pests and rodents or other hazardous materials unless specifically requested.

We are always interested in advancing the quality of our service and our report. We welcome and value your input. We adhere to a high standard of professionalism and treat everyone with the utmost courtesy and respect.

We are proud of our service and trust you will be happy with the quality of our inspection and report. Please contact us with any concerns you may have regarding the report. We will be glad to discuss them with you.

Tiffindale Real Estate Inspections

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Report Summary

This Report Summary will describe area(s) of concern that were observed at time of inspection by this inspector that may need some type of repair, replacement, service or further review. Keep in mind that all homes need some type of repair, even if only minor and generally older homes well need more repairs. All safety concerns mentioned within this report should be reviewed and repaired prior to occupancy. While every effort is made to identify existing and potential problems at the time of the inspection, it is not possible for a home inspector to foresee all problems that might arise in the future. This Report Summary is provided as a courtesy and cannot be considered a substitute for reading the entire report.

Grounds / Yards / Grading

Fencing / Gate:

Block Wall is loose and leaning. Recommend further evaluation and repair by a qualified contractor

[Home Structural Components / Foundation / Sub Areas](#)

Minor abraisions here and there, and 1 missing stone on front of house(Asthetic)

Roof and Attic And Gutters

Home's Gutters and Down Spouts:

Gutters are filled with debri and gutter drains are blocked.

Gutter at the side of hous has detached from the house and need repair.

Gutter catch basin below the roof HVAC system, has no drain. Water is overflowing and pooring down the stucco wall in the coverd patio area. When the patio cover system was installed, the original gutter basin was mistakenly left attached to the house in between the house and the metal patio roof. The installer blocked the original drain exits and removed the original gutter drain pipe. Water now pools in the old gutter and eventually drips down the houses wall as seen in the photos.

Attic Insulation:

There is no insullation above the garage area of the attic. Although this may be considered optional, the addition of insulation above the garage will help the performance of the homes HVAC system. See photos.

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Kitchen

Kitchen To Garage Door

The Kitchen to garage entry door has a faulty lock which prevents the door from locking

Heating and Cooling System(s)

Heating System: Inspected

- No concerns observed

No concerns observed

Laundry and Service Areas

- No concerns observed

Interior and Living Areas

No concerns observed

Interior / Living Areas

No concerns observed

Bedroom(s)

Bedroom Walls and Ceilings:

Ceiling in the master bedroom has water damage from a prior roof/hvac leak and the ceiling is extremely fragile in with a consistency of paper machee in areas. Upon inspection of the ceiling the fragile material was exposed as seen in the photos. Inspection of the attic (during a rainy day) showed no signs of a present leak but did reveal that at some time in the past a leak in the roof above the master bedroom, was an issue.

Water Heating System(s)

No concerns observed

Heating and Cooling / HVAC

Heating System:

No concerns observed

Cooling System:

No concerns observed

Garage & Detached Structure Details

Garage or detached Structure - Door(s) / Garage door(s):

Minor cracks on garage wall and ceiling. Appear to be cosmetic cracks do to garage door use.

Garage or detached Structure - Attic / Rafters:

No insulation in attic above garage area. For better home insulation performance, insulation may be added

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Inspected

Not Inspected

Not Present

Damaged / Repair

Safety Hazard

Color of selection below will indicate the level of concern for each area at time of inspection

Home Electrical, Gas, and Utility Systems

Our inspection of Electrical System and components in accordance with industry standards of practice includes identifying the type and capacity of the service, evaluating panels, overload conductors, wires, panel grounds, the testing of a representative number of switches and outlets that were visible and accessible, and the presence or absence of smoke detector(s)/carbon monoxide detector(s). This report is to inform you of current condition as observed at time of inspection. We recommend that all electrical repairs and or replacements be evaluated and corrected by a qualified electrical contractor.

Electrical Service Connection, Components & Panels

General Observation

Inspected

Satisfactory

Service Connection

Location: Main Panel - Exterior wall of Garage

Services connection: Public Utilities (Underground Service)

Service on during inspection: Yes Type of wiring: Copper

Service size main panel: 120 / 240 Volt (Nominal) Amp: 100 Amp service

Service size sub panel: 110 / 220 Volt (Nominal) Amp: 100 Amp service

Electrical Observations

No concerns observed



Electrical: Bedroom Areas (Interior)

Switches / Outlets / Fixtures / Smoke Detector(s) / CO Detector(s)

Inspected

Satisfactory

Observation: A representative number of outlets and switches were inspected and found to be in working condition

Electrical: Kitchen / Bathrooms (Interior Areas)

Switches / Outlets / AFCI-GFCI Outlets/ Fixtures

Inspected

Satisfactory

Observation: A representative number of standard outlets, and AFCI and or GFCI outlets were tested throughout the house and found to be working properly.

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Inspected	Not Inspected	Not Present	Damaged / Repair	Safety Hazard
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Color of selection below will indicate the level of concern for each area at time of inspection

Electrical: Livingroom - Diningroom - Den (Interior)

[Switches / Outlets / Fixtures / Smoke Detector\(s\) / CO Detector\(s\)](#)

Inspected	Satisfactory
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Observation: A representative number of outlets and switches were inspected and found to be in working condition

[Switches / Outlets / Fixtures](#)

Inspected	Satisfactory
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Observation: No concerns observed

Electrical: Basement - Finished/Non-Finished (Interior)

[Switches / Outlets / Fixtures](#)

Inspected	N/A
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Gas/Fuel/Plumbing/Sewer Systems

Our inspection of the Plumbing Systems and components in accordance with industry standards of practice includes a visual examination of the accessible and visible plumbing fixtures and components. The plumbing system and their components are tested and observed using normal operating controls, testing functional flow and observance of any active leakage throughout fixture(s) and faucet(s). All underground and hidden piping and components, including water supply lines, waste lines, fuel lines, storage tanks & sprinkler systems are beyond the scope of this inspection. Leakage or corrosion in underground and hidden piping cannot be detected by a visual inspection, and for this reason we recommend further evaluation by a qualified contractor to confirm its actual condition. This report is to inform you of current condition as observed at time of inspection. We recommend that all material defects noted below be fully evaluated and/or corrected by a qualified plumbing contractor prior to the close of escrow or contingencies.

Gas / Fuel Supply System

[General Observation](#)

Inspected	Satisfactory
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[Service Connection](#)

Location: Exterior wall of Garage
Services connection: Public Utilities (Underground Service)
Service on during inspection: Yes

[Further Comments](#)

No concerns observed



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Inspected

Not Inspected

Not Present

Damaged / Repair

Safety Hazard

Color of selection below will indicate the level of concern for each area at time of inspection

Water Supply System

General Observation

Inspected

Satisfactory

Service Connection

Location: Water meter with main shut off located next to street
Services connection: Public Utilities (Underground Service)
Service on during inspection: Yes Static water pressure reading (psi): 55 - 65
Type of supply lines: Copper piping

Further Comments

No concerns observed



Sewage Supply System

General Observation

Inspected

Satisfactory

Service Connection

Location: Cleanouts located in front yard
Services Connection: Public Utilities (Underground Service)
Service on during inspection: Yes Type of drain pipes: ABS pipe

Further Comments

No concerns observed

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Inspected Not Inspected Not Present Damaged / Repair Safety Hazard

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Grounds / Yards / Grading

Our inspection of the Grounds area(s) in accordance with industry standards of practice are inspected visually for positive grading and drainage that are essential to the welfare of a property and does not attempt to determine the condition of any underground piping, including municipal water, sewer service piping or septic systems. Also inspected are the trees and shrubbery that can cause foundation and or roof damage when growing too closely to the structure. While driveways and sidewalks of a residence may be dirt, gravel or paved with a hard, solid surface, such as concrete or asphalt. Some cracking in driveways and walkways can be expected; however, they should not cause a tripping hazard, erosion or in any way negatively impact the house. This report is to inform you of current condition as observed at time of inspection.

Front yard

[General Observation](#)

Inspected

Satisfactory

[Description](#)

Material: |Grass / Vegetation

Further Comments: No concerns observed



Side yard(s)

[General Observation](#)

Inspected

Satisfactory

[Description](#)

Material: Grass / Vegetation

Further Comments: No concerns observed

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Not Present
Damaged / Repair
Safety Hazard

Color of selection below will indicate the level of concern for each area at time of inspection



Back yard

[General Observation](#)

Inspected
Satisfactory

[Description](#)

Material: Grass / Vegetation
 Further Comments: No concerns observed



Driveway / Sidewalks

[General Observation](#)

Inspected
Satisfactory

[Description](#)

Material: Concrete
 Further Comments: No concerns observed



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Inspected Not Inspected Not Present Damaged / Repair Safety Hazard

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Fencing / Gate

[General Observation](#)

Recommend Repairs Recommend Repair

[Description](#)

Material: Block

Further Comments: Block Wall is loose and leaning. Recommend further evaluation and repair by a qualified contractor



Tree's / Shrubbery

[General Observation](#)

Inspected Satisfactory

[Description](#)

Further Comments: No concerns observed



Overall Grading / Slope of the General Property

[General Observation](#)

Inspected Satisfactory

[Description](#)

Further Comments: No concerns observed

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Inspected
 Not Inspected
 Not Present
 Damaged / Repair
 Safety Hazard

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Home Structural Components / Foundation / Sub Areas
<p>Our inspection of the Structural Components / Foundation / Sub Areas in accordance with industry standards of practice, that includes the visually accessible areas of carports, patio covers, awnings, decks, walls, flooring, ceilings, fascia, trim, soffits, balconies, doors, windows, basement and stairways. We visually inspect the foundation and look for any evidence of structural deficiencies, while foundation type and material of construction may defer such as concrete, masonry block, brick, stone and or wood foundation, they can experience some degree of cracking due to stress, settlement, shrinkage and various temperature change. We will not inspect any detached structures unless contracted to do so. This inspection does not include the geological conditions of the property, such as soil expansion or soil compaction. This inspector is not required to enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely affect the health of the home inspector or other persons. This inspector will not enter crawlspaces or any areas where headroom clearance is less than 18 inches and the width of the access opening is less than 18 inches by 24 inches or where inspector reasonably determines conditions or materials are hazardous to his health or safety. This report is to inform you of current condition as observed at time of inspection.</p>

Foundation of House

[General Observation](#)

Inspected Satisfactory

[Description](#)

Type of Foundation(s) Concrete slab
 Further Comments: No concerns observed

Basement Floors

[General Observation](#)

Inspected N/A

[Description](#)

Material: NA
 Further Comments: No concerns observed

Basement Walls

[General Observation](#)

Inspected N/A

[Description](#)

Material: NA
 Further Comments: No concerns observed

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Inspected Not Inspected Not Present Damaged / Repair Safety Hazard

Color of selection below will indicate the level of concern for each area at time of inspection

Basement Ceilings

[General Observation](#)

Inspected NA

[Description](#)

Material: NA
Further Comments: No concerns observed

Exterior - Outside Walls of Home

[General Observation](#)

Minor Repair Needed Satisfactory

[Description](#)

Material: Stucco
Further Comments: Minor abraisions here and there, and 1 missing stone on front of house(Asthetic)



Home Window(s)

[General Observation](#)

Inspected Satisfactory

[Description](#)

Material: Plastic/Aluminum (dual pane)
Further Comments: No concerns observed



Garage Doors - RV Port Doors

[General Observation](#)

Inspected Satisfactory

[Description](#)

Type: Solid Core (six panel), slider, hollow core and two car garage door (Metal)
Further Comments: No concerns observed



Basement - Crawl Spaces - Sub Areas

[General Observation](#)

Inspected N/A

[Description](#)

Material: NA
Further Comments: No concerns observed

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Inspected Not Inspected Not Present Damaged / Repair Safety Hazard

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Basement - Drainage - Sumps and Pumps

General Observation

Inspected N/A

Description

Material: NA

Further Comments: No concerns observed

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Awning(s) - Patio cover(s) - Carport Cover(s)

[General Observation](#)

Inspected Satisfactory

[Description](#)

Material: Wood structure

Further Comments: No concerns observed

Balcony - Decks - Porches

[General Observation](#)

Minor Repair Needed Satisfactory

[Description](#)

Material: Metal

Further Comments: Porch cover gutters need drain at the location where cover joins to the former gutter catch basin. Water is pooling in the basin and draining along the stucco wall.



Stairways-Handrails-Guardrails (Interior & Exterior)

[General Observation](#)

Inspected N/A

[Description](#)

Material: NA

Further Comments: No concerns observed

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Inspected

Not Inspected

Not Present

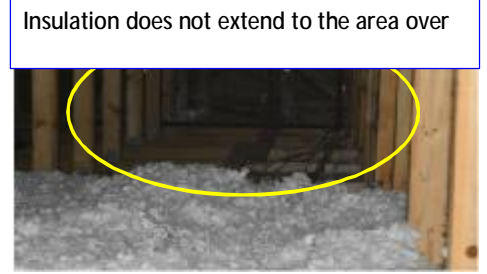
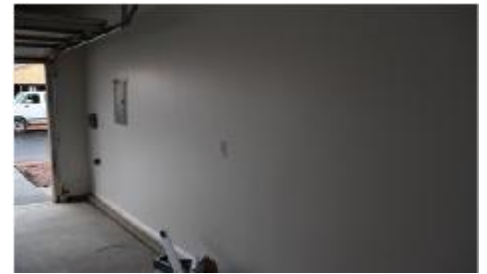
Damaged / Repair

Safety Hazard

Color of selection below will indicate the level of concern for each area at time of inspection

Garage & Detached Structure Details

Our inspection of Garages and Detached Structure area(s) in accordance with industry standards of practice includes the visually accessible areas of walls, floors, ceilings, cabinets and closets, and includes the testing of a representative number of windows and doors, switches and outlets, also the plumbing system and their components if present are tested and observed, which includes testing functional flow and leaks throughout fixture(s) and faucet(s). Inspect drain, waste and vent system and report on deficiencies. However, we do not move furniture, lift carpets or rugs, empty closets or cabinets. This report is to inform you of current condition as observed at time of inspection.



Garage or detached Structure - Electrical / Lighting / Outlets

General Observation

Inspected

Satisfactory

Description

Further Comments: No concerns observed

Garage or detached Structure - Walls (Interior and Exterior)

General Observation

Inspected

Satisfactory

Description

Material: Stucco

Further Comments: No concerns observed

Garage or detached Structure - Flooring

General Observation

Inspected

Satisfactory

Description

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Inspected

Not Inspected

Not Present

Damaged / Repair

Safety Hazard

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Material: Concrete

Further Comments: No concerns observed

Garage or detached Structure - Door(s) / Garage door(s)

General Observation

Inspected

Satisfactory

Description

Material: Two car garage door (Metal)

Further Comments: Minor cracks on garage wall and ceiling. Appear to be cosmetic cracks do to garage door use.



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Inspected

Not Inspected

Not Present

Damaged / Repair

Safety Hazard

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Garage or detached Structure - Cabinet(s) and Countertop(s)

General Observation

Inspected

Satisfactory

Description

Material: Wood

Further Comments: No concerns observed

Garage or detached Structure - Window(s)

General Observation

Inspected

Satisfactory

Description

Material: Plastic & Aluminum (dual pane)

Further Comments: No concerns observed

Garage or detached Structure - Plumbing

General Observation

Inspected

Satisfactory

Description

Type: Copper and ABS

Further Comments: No concerns observed

Garage or detached Structure - Attic / Rafters

General Observation

Inspected

Satisfactory

Description

Further Comments: No insulation in attic above garage area. For better home insulation performance, insulation may be added

Garage or detached Structure - Roofing

General Observation

Inspected

Satisfactory

Description

Material: Tile, barrel

Further Comments: No concerns observed

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Inspected
Not Inspected
Not Present
Damaged / Repair
Safety Hazard

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Home's Roof and Attic

Our inspection of the Roof and Attic area(s) in accordance with industry standards of practice includes a visual observation of the roof covering, gutters, downspouts, vents, flashings, chimney, skylight and other roof penetrations within the limits of accessibility. The inspector may walk the surface of a roof in order to inspect it and its components but may inspect it by other means if the roof cannot be safely accessed, due to its height, weather conditions, or if the roofing material could be damaged by foot traffic. If the Attic has been "finished" with sealed walls and covered sealings and floors, then it will be covered under "Interior" or the "Bedroom" portions of this inspection. The inspector is not required to, predict the service life expectancy or inspect underground downspout diverter pipes, remove snow ice or debris, or inspect antennae, lighting arrestors or similar attachments. All roofing types require some type of annual maintenance (some types more frequent than others). Failure to perform routine maintenance can result in leaks and accelerate roof covering and flashings deterioration. An inspector cannot guarantee a roof is leak free, only observation during a prolonged rainfall can determine this. This report is to inform you of current condition as observed at time of inspection. We do not attempt to enter attics that have less than thirty-six inches of headroom, are restricted by ducts, or in which the insulation obscures the joists and thereby makes mobility hazardous, in which case we would inspect them as best as we can from the access point. In regard to evaluating the type and amount of insulation on the attic floor, we use only generic terms and approximate measurements, and do not sample or test the material for specific identification. Also, we do not disturb or move any portion of it, and it may well obscure water pipes, electrical conduits, junction boxes, exhaust fans, and other components.



Home's Roof Observable Structure & Support General Observation

Inspected
Satisfactory

[Description](#)

Further Comments: No concerns observed



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Home's Roof Covering

[General Observation](#)

Inspected

Satisfactory

[Description](#)

Material: Asphalt shingles

Viewed from: By entering crawl space

Further Comments: No concerns observed

Home's Roof Slope

[General Observation](#)

Inspected

Satisfactory

[Description](#)

Further Comments: Minimum Slope

Home's Gutters and Down Spouts

[General Observation](#)

Damaged / Repair Needed

Recommend Repair

[Description](#)

Material: Metal

Further Comments: Recommend gutter maintenance and repair by qualified gutter repair personnel.

Gutter has broken free from roof and needs



gutters need debris removal



Gutter Basin below roof HVAC system, has no drain which is forcing water to overflow and drain down the stucco wall. Original drain was removed when patio cover was



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Home's Flashing

General Observation

Minor Repair, Cosmetic Only Satisfactory

Description

Material: Galvanized metal
Further Comments: No concerns observed



Slight cracking to seal around roof HVAC, recommend silicone of roof seal be used to prevent potential leakage. No leakage in

Home's Attic/Roof Ventilation

General Observation

Inspected Satisfactory

Description

Further Comments: No concerns observed



Home's Attic Internal Structure

General Observation

Inspected Satisfactory

Description

Viewed From: By entering crawl space
Further Comments: No concerns observed



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Damaged / Repair

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Attic Vent Material

General Observation

Inspected

Satisfactory

Description

Type: Gable vents

Further Comments: No concerns observed

Home's Attic Insulation

General Observation

Inspected

Satisfactory

Description

Materials: Blown-in fiberglass

Further Comments: No concerns observed



No insulation above garage portion of attic.
Recommend addition of insulation to



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Interior / Living Areas

Our inspection of the Interior / Living area(s) includes dining room, den, living room, formal room, office, bar, hallways and stairways in accordance with industry standards of practice includes the visually accessible areas of walls, floors, ceilings, cabinets and closets, and includes the testing of a representative number of windows, doors, switches and outlets, also the plumbing system if present and their components are tested and observed, which includes testing functional flow and leaks throughout fixture(s) and faucet(s). Inspect drain, waste and vent system and report on deficiencies. However, we do not move furniture, lift carpets or rugs, empty closets or cabinets. This report is to inform you of current condition as observed at time of inspection.



Living Area Cabinet(s)

General Observation

Inspected

Satisfactory

Description

Material: Wood Cabinets

Further Comments: No concerns observed

Living Area Flooring

General Observation

Inspected

Satisfactory

Description

Material: Carpet & Stone décor laminate

Further Comments: No concerns observed

Living Area Walls and Ceiling (Interior)

General Observation

Inspected

Satisfactory

Description

Type: Drywall / Plaster

Further Comments: No concerns observed

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Inspected Not Inspected Not Present Damaged / Repair Safety Hazard

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Additional Living Area Window details

General Observation

Inspected

Satisfactory

Description

Type: Aluminum (dual pane)

Further Comments: No concerns observed

Living Area Interior Door(s)

General Observation

Inspected

Satisfactory

Description

Type: Hollow core

Further Comments: No concerns observed

Living Area Closet(s)/

General Observation

Inspected

Satisfactory

Description

Material: -

Further Comments: No concerns observed

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Color of selection below will indicate the level of concern for each area at time of inspection

Bedroom Areas

Our inspection of the Bedroom area(s) in accordance with industry standards of practice includes the visually accessible areas of walls, floors, ceilings, cabinets and closets, and includes the testing of a representative number of windows, doors, switches and outlets. However, we do not evaluate window treatments, or move furniture, lift carpets or rugs, empty closets or cabinets. This report is to inform you of current condition as observed at time of inspection.

Bedroom Built-in Cabinet(s)

[General Observation](#)

Inspected Satisfactory

[Description](#)

Material: Wood Cabinets
Further Comments: No concerns observed

Bedroom Flooring

[General Observation](#)

Inspected Satisfactory

[Description](#)

Material: Carpet
Further Comments: No concerns observed



Bedroom Walls and Ceilings

[General Observation](#)

Recommend Repairs Qualified Professional Recommended

[Description](#)

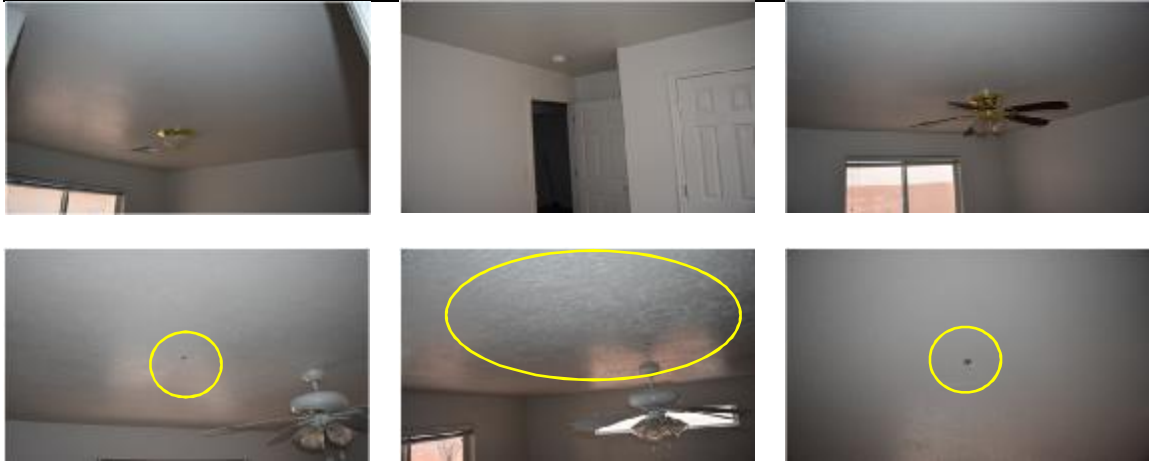
Type: Drywall / Plaster
Further Comments: Ceiling in the master bedroom has water damage from a prior roof/hvac leak and the ceiling is extremely fragile in with a consistency of paper machee in areas. Upon inspection of the ceiling the fragile material was exposed as seen in the photos. Inspection of the attic (during a rainy day) showed no signs of a present leak but did reveal that at some time in the past a leak in the roof above the master bedroom, was an issue.

Tiffindale Real Estate Inspections

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Inspected Not Inspected Not Present Damaged / Repair Safety Hazard

Color of selection below will indicate the level of concern for each area at time of inspection



Bedroom Window Detail(s)

[General Observation](#)

Inspected

Satisfactory

[Description](#)

Type: Aluminum (dual pane)

Further Comments: No concerns observed



Bedroom Door(s)

[General Observation](#)

Inspected

Satisfactory

[Description](#)

Type: Hollow core

Further Comments: No concerns observed

Bedroom Closet(s)

[General Observation](#)

Inspected

Satisfactory

[Description](#)

Material: Standard Closets Noted

Further Comments: No concerns observed



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Inspected

Not Inspected

Not Present

Damaged / Repair

Safety Hazard

Color of selection below will indicate the level of concern for each area at time of inspection

Laundry Room

Our inspection of the Laundry room area(s) in accordance with industry standards of practice includes a visual examination of the readily accessible areas of the walls, floor, ceiling, cabinets, countertops and plumbing fixtures. The plumbing system and their components are tested and observed using normal operating controls, which includes testing functional flow and observance of any active leakage throughout fixture(s) and faucet(s). Exhaust vent fans and their ductwork are tested for their proper operation. Inspect drain, waste and vent system and report on deficiencies. Very minor imperfections can allow water intrusion into the walls or floor areas and cause damage. We will not attempt to move furniture, lift carpets or rugs, empty closets or cabinets. This report is to inform you of current condition as observed at time of inspection.



Laundry Room Cabinet(s)

[General Observation](#)

Inspected

Satisfactory

[Description](#)

Material: Wood Cabinets

Further Comments: No concerns observed

Laundry Room Countertop(s)

[General Observation](#)

Inspected

N/A

[Description](#)

Material: NA

Further Comments: NA

Laundry Room Floor Covering (Laundry)

[General Observation](#)

Inspected

Satisfactory

[Description](#)

Type: Stone décor Vinyl sheeting

Further Comments: No concerns observed

Laundry Room Exhaust Venting for Dryer

[General Observation](#)

Inspected

Satisfactory

[Description](#)

Type: Metal Flex

Further Comments: No concerns observed

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Inspected

Not Inspected

Not Present

Damaged / Repair

Safety Hazard

Color of selection below will indicate the level of concern for each area at time of inspection

Laundry Room Plumbing Supply (Gas / Water)

General Observation

Inspected

Satisfactory

Description

Type: CPVC and Steel

Further Comments: No concerns observed

Laundry Room Washer Plumbing Drain and Drain-Vent System

General Observation

Inspected

Satisfactory

Description

Material: ABS pipe

Further Comments: No concerns observed

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Inspected

Not Inspected

Not Present

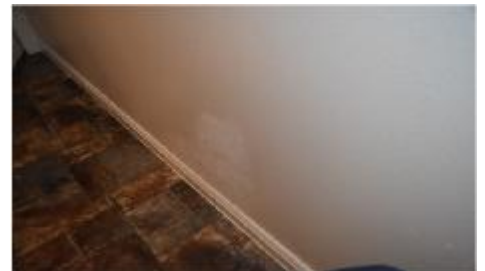
Damaged / Repair

Safety Hazard

Color of selection below will indicate the level of concern for each area at time of inspection

Bathroom(s)

Our inspection of the Bathroom area(s) in accordance with industry standards of practice includes a visual examination of the readily accessible areas of the walls, floor, ceiling, cabinets, countertops and plumbing fixtures. The plumbing system and their components are tested and observed using normal operating controls, which includes flushing toilet(s), testing functional flow and observance of any active leakage throughout fixture(s) and faucet(s). Exhaust vent fans and their ductwork are tested for their proper operation. Shower pans/Tubs are visually checked for possible leakage concerns, but leaks often do not show except when the shower/tub is in actual use. Determining whether shower pans, tub/shower surrounds are watertight is beyond the scope of this inspection. It is very important to maintain all grout, caulking and other sealants used in the bathroom areas. Very minor imperfections can allow water intrusion into the walls or floor areas and cause damage. We will not attempt to move furniture, lift carpets or rugs, empty closets or cabinets. This report is to inform you of current condition as observed at time of inspection.



Bathroom Cabinet(s)

[General Observation](#)

Inspected

Satisfactory

[Description](#)

Material: Wood Cabinets

Further Comments: No concerns observed

Bathroom Countertop(s)

[General Observation](#)

Inspected

Satisfactory

[Description](#)

Material: Laminate countertop

Further Comments: No concerns observed

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Inspected

Not Inspected

Not Present

Damaged / Repair

Safety Hazard

Color of selection below will indicate the level of concern for each area at time of inspection

Bathroom Floor Covering

General Observation

Inspected

Satisfactory

Description

Type: Vinyl sheeting

Further Comments: No concerns observed

Bathroom Toilet(s)

General Observation

Inspected

Satisfactory

Description

Type: Porcelain

Further Comments: No concerns observed



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Inspected

Not Inspected

Not Present

Damaged / Repair

Safety Hazard

Color of selection below will indicate the level of concern for each area at time of inspection

Bathroom Shower/Tub (Combination/Enclosure)

General Observation

Inspected

Satisfactory

Description

Type: Prefabricated shower bath combination

Further Comments: No concerns observed



Bathroom Shower Enclosure

General Observation

Inspected

Satisfactory

Description

Material: Curtain type

Further Comments: No concerns observed

Bathroom Plumbing

General Observation

Inspected

Satisfactory

Description

Type: Copper and ABS

Further Comments: No concerns observed



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Inspected

Not Inspected

Not Present

Damaged / Repair

Safety Hazard

Color of selection below will indicate the level of concern for each area at time of inspection

Kitchen

Our inspection of the Kitchen area(s) in accordance with industry standards of practice includes the visually accessible areas of walls, floors, ceilings, cabinets and closets, and includes the testing of a representative number of windows and interior doors, switches and outlets, also the plumbing system and their components are tested and observed, which includes testing functional flow and leaks throughout fixture(s) and faucet(s). Inspect drain, waste and vent system and report on deficiencies. We will not attempt to move furniture, lift carpets or rugs, empty closets or cabinets. This report is to inform you of current condition as observed at time of inspection.



Kitchen Cabinet(s)

General Observation

Inspected

Satisfactory

Description

Material: Wood Cabinets

Further Comments: No concerns observed

Kitchen Countertop(s)

General Observation

Inspected

Satisfactory

Description

Material: -

Further Comments: No concerns observed

Kitchen Floor Covering

General Observation

Inspected

Satisfactory

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Inspected

Not Inspected

Not Present

Damaged / Repair

Safety Hazard

Color of selection below will indicate the level of concern for each area at time of inspection

Description

Material: -

Further Comments: No concerns observed

Kitchen Storage Closet(s) / Panty

General Observation

Inspected

Satisfactory

Description

Material: Wood door(s)

Further Comments: No concerns observed

Kitchen Plumbing

General Observation

Inspected

Satisfactory

Description

Material: -

Further Comments: No concerns observed

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Inspected Not Inspected Not Present Damaged / Repair Safety Hazard

Color of selection below will indicate the level of concern for each area at time of inspection

Heating and Cooling / HVAC

The components of most heating and air-conditioning systems have a design-life ranging from ten to twenty years, but can fail prematurely with poor maintenance, which is why we apprise you of their age whenever possible. We test and evaluate them in accordance with the standards of practice, which means that we do not dismantle and inspect the concealed portions of evaporator and condensing coils, the heat exchanger, which is also known as the firebox, electronic air-cleaners, humidifiers, ducts and in-line duct-motors or dampers. We perform a conscientious evaluation of both systems, but we are not specialists. However, even the most modern heating systems can produce carbon monoxide, which in a sealed or poorly ventilated room can result in sickness, debilitating injury, and even death. Therefore, in accordance with the terms of our contract, it is essential that any recommendations that we make for service or a second opinion be scheduled before the close of escrow, because a specialist could reveal additional defects or recommend further upgrades that could affect your evaluation of the property, and our service does not include any form of warranty or guarantee.

HEATING/COOLING HVAC SYSTEM

General Observation

Inspected Satisfactory
Furnace Name: Standard Year Model: 2004
Model #: PGF036K080E Serial #: G840930814
Heat source type: Forced Air System
Fuel Type: Natural Gas Vent type: Forced ventilation
Location: Attic/Roof

Further Comments

No concerns observed



recommend roofing sealer/silicone be used to seal small cracks to prevent future water



SECONDARY Cooling System

General Observation

Inspected N/A
Furnace Name: - Year Model:
Model #: Serial #:
Cooling type: Central Air Conditioning System
Location: NA

Further Comments

No concerns observed

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Inspected
Not Inspected
Not Present
Damaged / Repair
Safety Hazard

Color of selection below will indicate the level of concern for each area at time of inspection

Water Heating System(s)

There are a wide variety of residential water heaters systems that range in capacity from fifteen to one hundred gallons. They can be expected to last at least as long as their warranty, or from five to eight years, but they will generally last longer. However, few of them last longer than fifteen or twenty years and many eventually leak. So it is always a good idea to have them installed over a drain pan plumbed to the exterior. Also, it is very important to flush them annually to remove loose sediment that includes the calcium chloride bi-products of many water softening systems. The water temperature should be set at a minimum range of 110 degrees Fahrenheit to kill microbes and a maximum of 140 degrees to prevent scalding. Also, water heaters can be dangerous if they are not seismically secured and equipped with either a pressure/temperature relief valve and discharge pipe plumbed to the exterior, or a Watts 210 gas shut-off valve. Therefore, in accordance with the terms of our contract, it is essential that any recommendations that we make for service or a second opinion be scheduled before the close of escrow, because a specialist could reveal additional defects or recommend further upgrades that could affect your evaluation of the property, and our service does not include any form of warranty or guarantee.

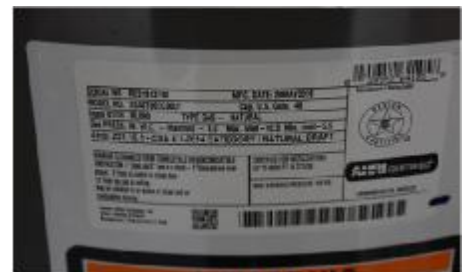
Water Heating System

General Observation

Functional	Satisfactory
Brand: Performance	Year Model: 2018
Model #: XG40T06EC36U1	Serial #: M221813748
Type of system: Gas demand water heater	
Fuel type: Natural Gas	Tank capacity: 40 gallon
Location: Garage	
Ventilation type: Natural draft - galvanized steel pipe	

Further Comments

No concerns observed



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Inspected

Not Inspected

Not Present

Damaged / Repair

Safety Hazard

Color of selection below will indicate the level of concern for each area at time of inspection

Water Heating System #2

General Observation

Not Inspected

None

Brand: na

Year Model:

Model #:

Serial #:

Type of system: na

Fuel type: Natural Gas

Tank capacity: na

Location: Garage

Ventilation type: Natural draft - galvanized steel pipe

Further Comments

No concerns observed

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